

Local Planning Panel

19 July 2023

Application details

960A Bourke Street and 6 Geddes Avenue, Zetland

D/2022/548

Applicant: Mirvac Green Square Pty Ltd

Owner: Landcom (960A Bourke Street)

Minister for Public Works & Services & Landcom (6 Geddes Ave)

Proposal

- site preparation works
- excavation
- soil treatment works and civil works

Recommendation

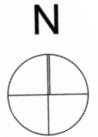
approval subject to conditions

Site



960A Bourke Street = 'Stage 3'

6 Geddes Ave = 'Stage 4'





looking north



looking west



'Stage 4' site viewed from Green Square Plaza - looking south

Background

- future development of these sites requires significant excavation of impacted material (Stage 3 = 46,000 cubic metres, Stage 4 = 24,200 cubic metres)
- previous RAP for Stage 3 approved disposing contaminated soil in off-site landfill
- now seeking to remediate Stage 3 with Stage 4 under a new RAP

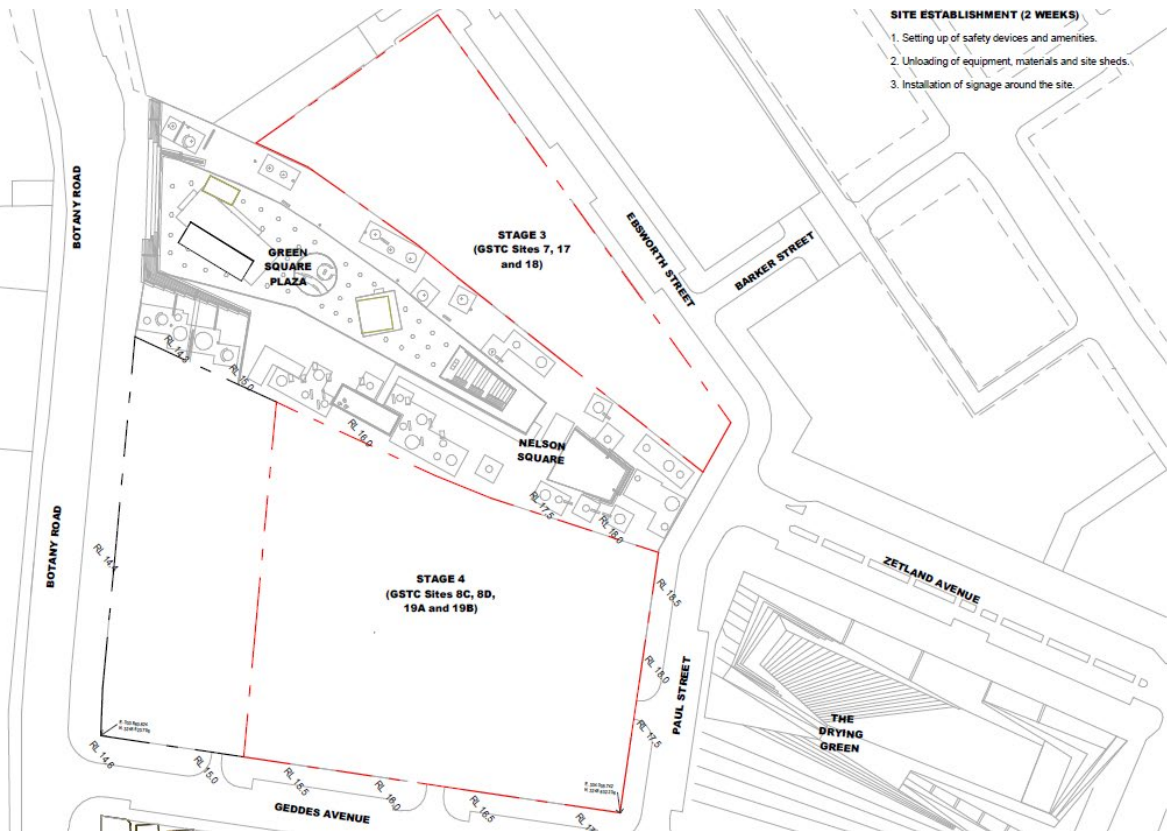
Proposal

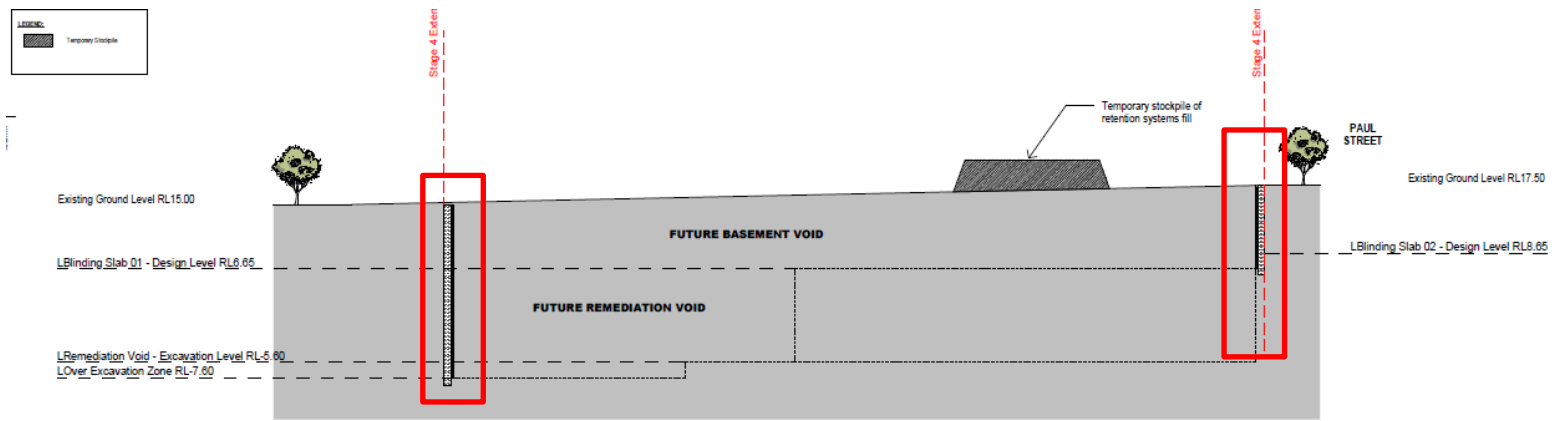
- construct basement perimeter retention system on Stage 4 site
- transfer impacted material from Stage 3 to Stage 4
- store impacted material from both sites within Stage 4 site
- construct blinding slab on top

- GENERAL NOTES:**
- All dimensions to be verified on site.
 - Supporting documentation to be reviewed prior to construction.
 - Shells to be checked for ambiguous details or where clarification is required.
 - All drawings to be read in conjunction with specifications.
 - All drawings to be read in conjunction with contractor's drawings.
 - All structures to be constructed in accordance with the details.
- Other References:**
- Design Conditions:**
- A/C 2158 – 2007 Guidelines on settlements for commercial and residential developments.
 - A/C 2158 C 11 Methods of testing soils for settlement.
 - Engineering Council – Soil Report.
 - Guidelines with Construction Stages and Construction Management Plan.
 - All relevant information in accordance with drawings reference 2012.01.01.
- Construction Method and Specifications:**
- The exact dimensions of the structures shall be as shown in the drawings and shall be subject to any confirmations pending.
- LEGEND:**
- Lot Boundary
 - - - Site Boundary

500mm

200mm



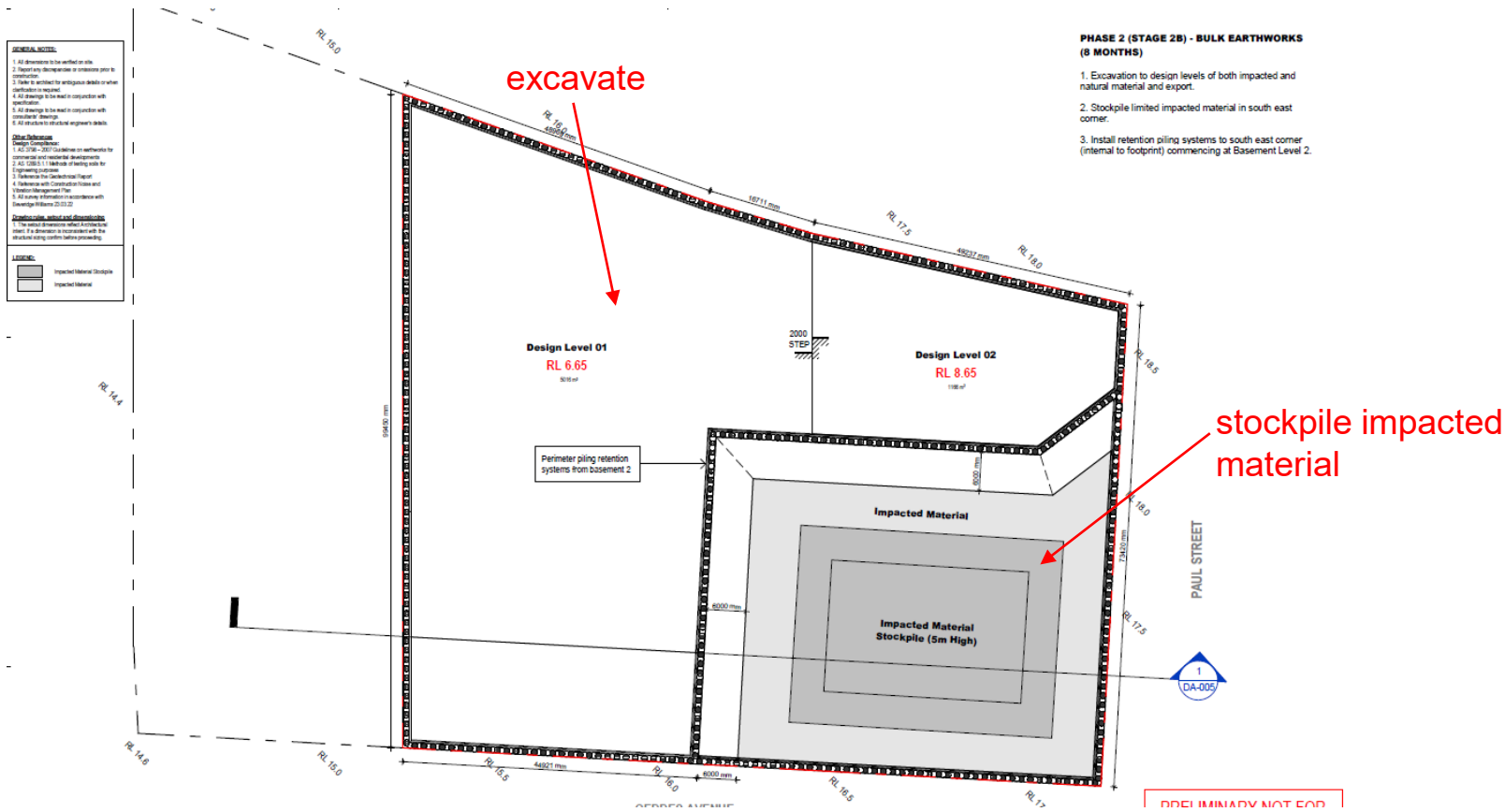


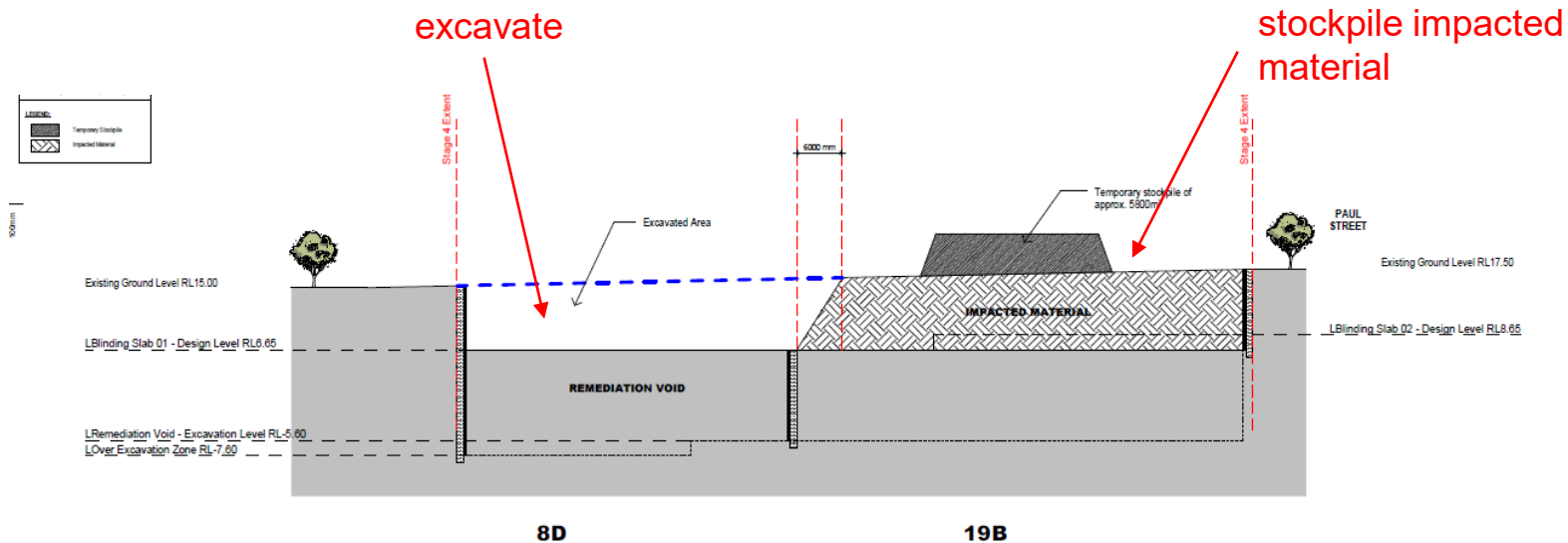
1 Phase 1 - Retention Piling Section DA
1 : 500

8D

19B

PAUL STREET





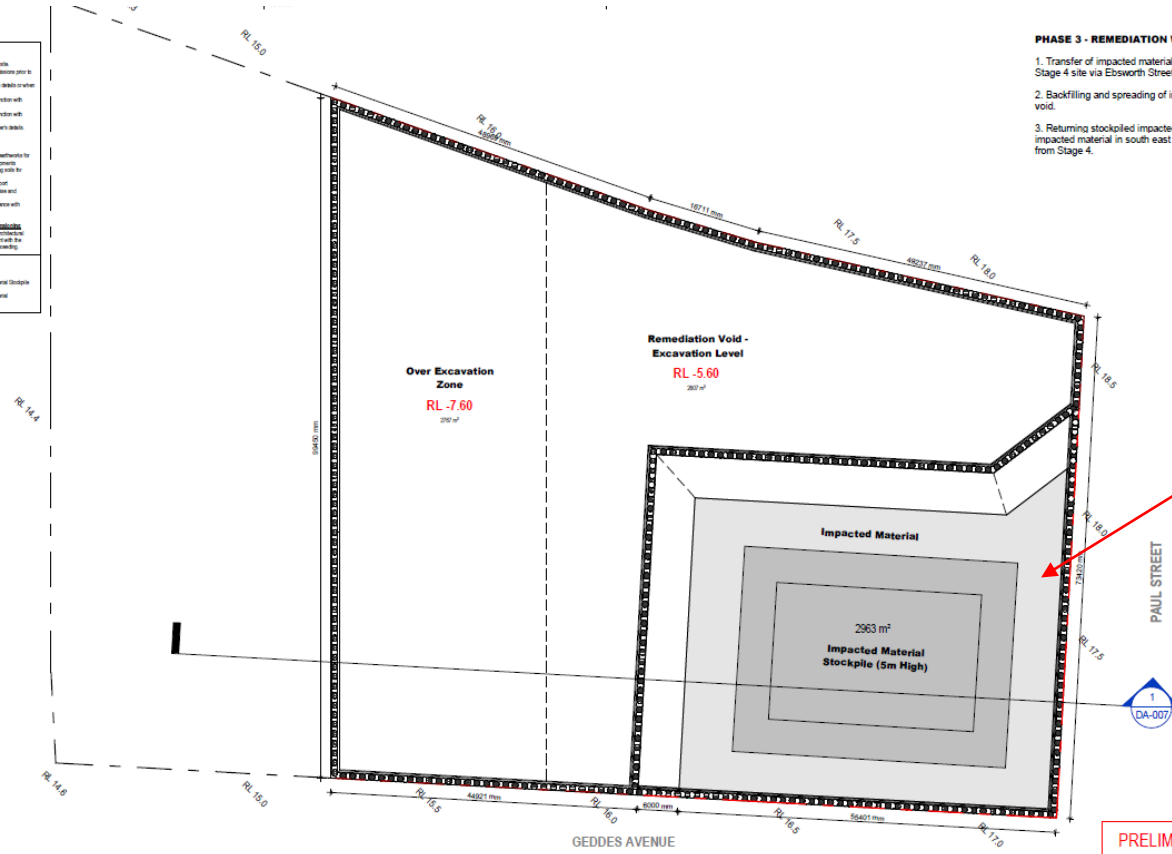
1 Phase 2 - Bulk Earthworks Section DA
1 : 500

200mm

- GENERAL NOTES:**
- All dimensions to be worked on site.
 - Report any discrepancies or omissions prior to construction.
 - Refer to drawings for any changes which are subject to variation.
 - All drawings to be made in consultation with the contractor.
 - All drawings to be made in consultation with the contractor.
 - All drawings to be made in consultation with the contractor.
- Other References:**
- Design Conditions:
- AS 2865 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.1 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.2 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.3 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.4 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.5 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.6 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.7 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.8 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.9 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.10 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.11 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.12 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.13 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.14 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.15 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.16 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.17 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.18 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.19 - 2001 Code of Practice for Reinforced Concrete Structures
 - AS 2865.20 - 2001 Code of Practice for Reinforced Concrete Structures
- Construction Method and Dimensions:**
- The void dimensions shall be constructed in accordance with the attached drawings and specifications.
- LEGEND:**
- Impacted Material Storage
 - Impacted Material

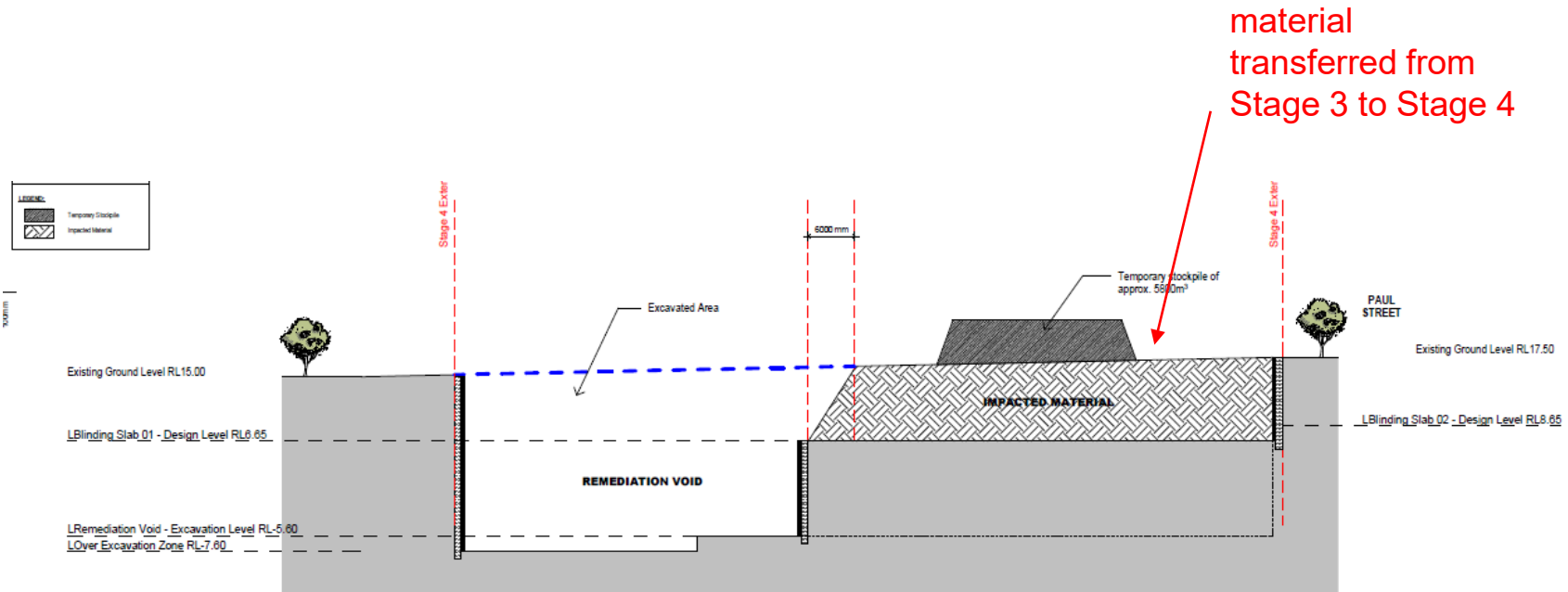
PHASE 3 - REMEDIATION WORKS (4 MONTHS)

- Transfer of impacted material from Stage 3 site to Stage 4 site via Ebsworth Street.
- Backfilling and spreading of impacted material within void.
- Returning stockpiled impacted material, and insitu impacted material in south east corner, within void from Stage 4.



material transferred from Stage 3 to Stage 4

PRELIMINARY NOT FOR CONSTRUCTION



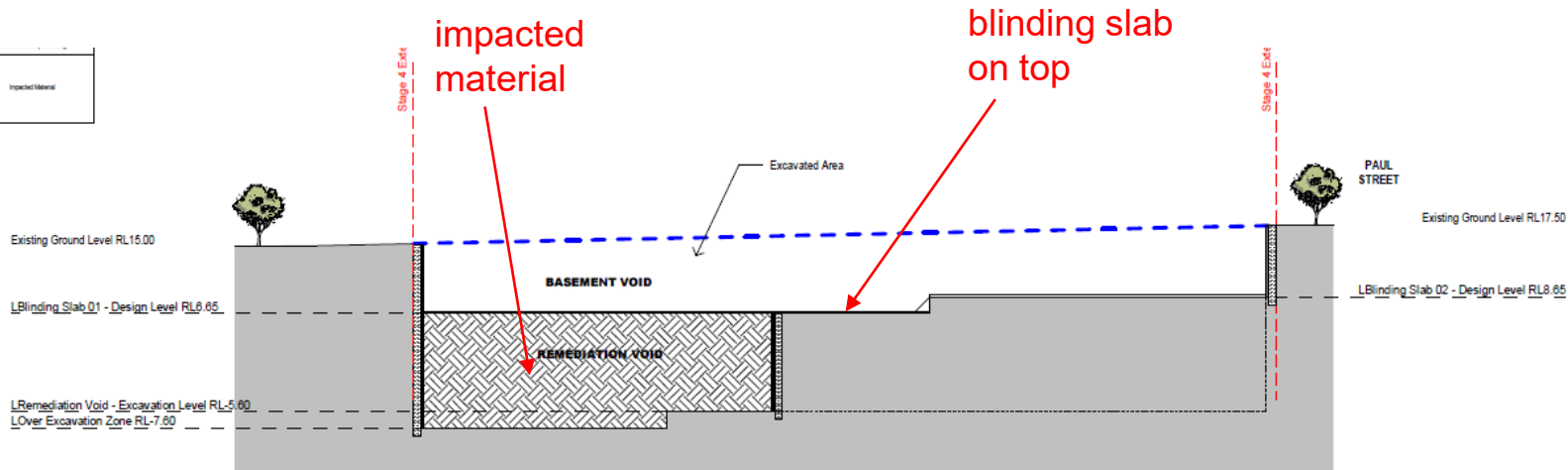
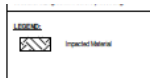
material transferred from Stage 3 to Stage 4

Phase 3 - Remediation Works Section

1 DA
1:500

8D

19B



Phase 4 - Containment and Dewatering

1 Section DA

1 : 500

8D

19B

Proposal

- Designated Development (treatment and storage of more than 30,000 cubic metres of contaminated soil)
- Integrated Development
 - NSW Environmental Protection Authority (Protection of the Environment Act 1997) – GTA's provided
 - Department of Planning and Environment – Water (Water Management Act 2000) – approval not required

Notification

- exhibition period 30 June to 29 July 2022
- 2,692 owners and occupiers notified
- no submissions received

External referrals

Agency	Recommendation
NSW EPA (Integrated)	GTA's provided
Department of Planning and Environment – Water (Integrated)	controlled activity approval not required
Ausgrid	conditions provided
Transport for NSW	conditions provided

Issues

- contamination
- flooding
- environmental impacts

Contamination

- RAP previously approved for Stage 3 for disposal in off-site landfill
- new RAP submitted with this DA proposes containment of material in Stage 4
- RAP and Interim Audit Advice are acceptable

Flooding

- site is flood affected
- level of the blinding slab is based on City's current Flood Model
- City is currently updating the Flood Model – yet to be completed. This may impact levels in the future
- condition of consent recommended requiring updated Flood Assessment based on the updated Flood Study prior to construction of blinding slab

Environmental impacts

- traffic impacts – TfNSW support Construction Traffic Management Plan. Final to be submitted prior to CC
- construction impacts – Construction Environmental Management Plan is a recommended condition
- noise – Noise and Vibration Management Plan is a recommended condition
- NSW EPA provided General Terms of Approval

Recommendation

approval subject to conditions